

CLIENT:

**CHAUVO HOLDINGS PTY
LIMITED**

PROJECT:

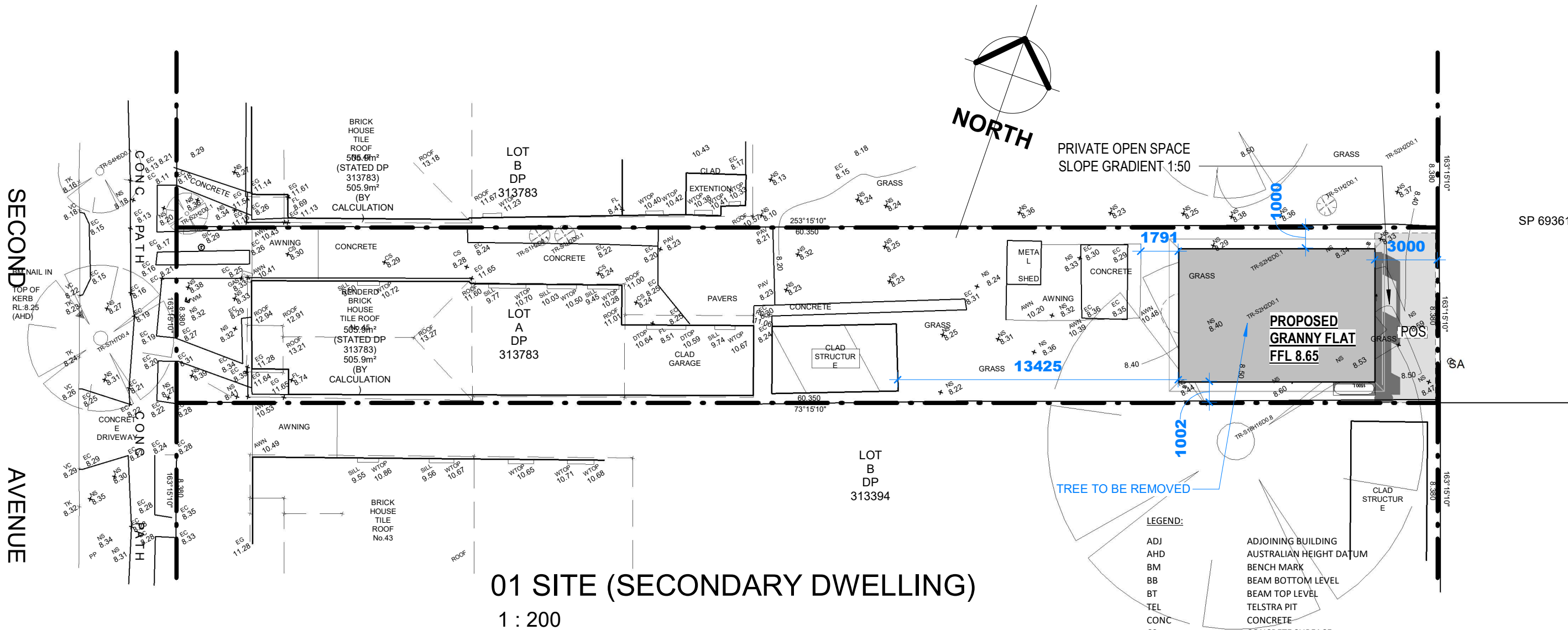
**LOT A DP 313783
45 SECOND AVENUE CAMPSIE**



info@archidesign.com.au



NOTES:
CONSTRUCTION OF DWELLING TO ACHIEVE & COMPLY TO NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022



01 SITE (SECONDARY DWELLING)
1 : 200

DA COMPLIANCE TABLE

SITE AREA: 505.9m ²				
FRONTAGE: 8.38m				
	REQUIRED	EXISTING	PROPOSED	COMPLIES
FLOOR SPACE RATIO	0.5:1 OR 252.95 sq.m	0.229:1 OR 116.20sq.m	0.348:1 OR 176.2sq.m	YES
TOTAL BLDG. HEIGHT	9m		4.01m	YES
SIDE SETBACK	0.9m & 0.9m		1.0m(LHS) & 1.0m(RHS)	YES
REAR SETBACK	3.0m		3.0 m	YES
LANDSCAPE AREA		47.54% OR 240.53 sq.m	35.68% OR 180.53sq.m	
PRIVATE OPEN SPACE	80 sq.m		80 sq.m	YES

LANDSCAPING COMPLIANCE		
Name	Area	Site Coverage
EXISTING DWELLING	116.20 m ²	23%
SECONDARY DWELLING	59.99 m ²	12%
CLAD STRUCTURE	19.11 m ²	4%
LANDSCAPE AREA	180.53 m ²	36%
CONCRETE	130.05 m ²	26%

LEGEND:	
ADJ	ADJOINING BUILDING
AHD	AUSTRALIAN HEIGHT DATUM
BM	BENCH MARK
BB	BEAM BOTTOM LEVEL
BT	BEAM TOP LEVEL
TEL	TELSTRA PIT
CONC	CONCRETE
CS	CONCRETE SURFACE
EC	EDGE OF CONCRETE
D/H/S	DIAMETER/HEIGHT/SPREAD
D	DOOR
E-G	EAVE & GUTTER
FL	FLOOR LEVEL
PP	POWER POLE
GDN	GARDEN
NS	NATURAL SURFACE
PP	POWER POLE
RL	REDUCED LEVEL
S	STEPS
SV	STOP VALE
SILL	WINDOW SILL
TK	TOP OF KERB
TOP	TOP OF WINDOW
SV	STOP VALVE
VC	VEHICLE CROSSING
W	WINDOW
WM	WATER METER



Secondary Dwelling

Client : CHAUVO HOLDINGS PTY LIMITED

Job Address : LOT A DP 313783
45 SECOND AVENUE CAMPSIE

10/02/2025 9:33:00 PM

DA APPLICATION:

SECONDARY DWELLING

Project Details

DRAWN BY:	DATE:	JOB NO:
RB	09.11.24	
SHEET TITLE: SECONDARY DWELLING SITE PLAN		
SCALE:	FINAL PLAN ISSUE:	
1 : 200	2	

DRAWN BY



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GENERAL NOTES

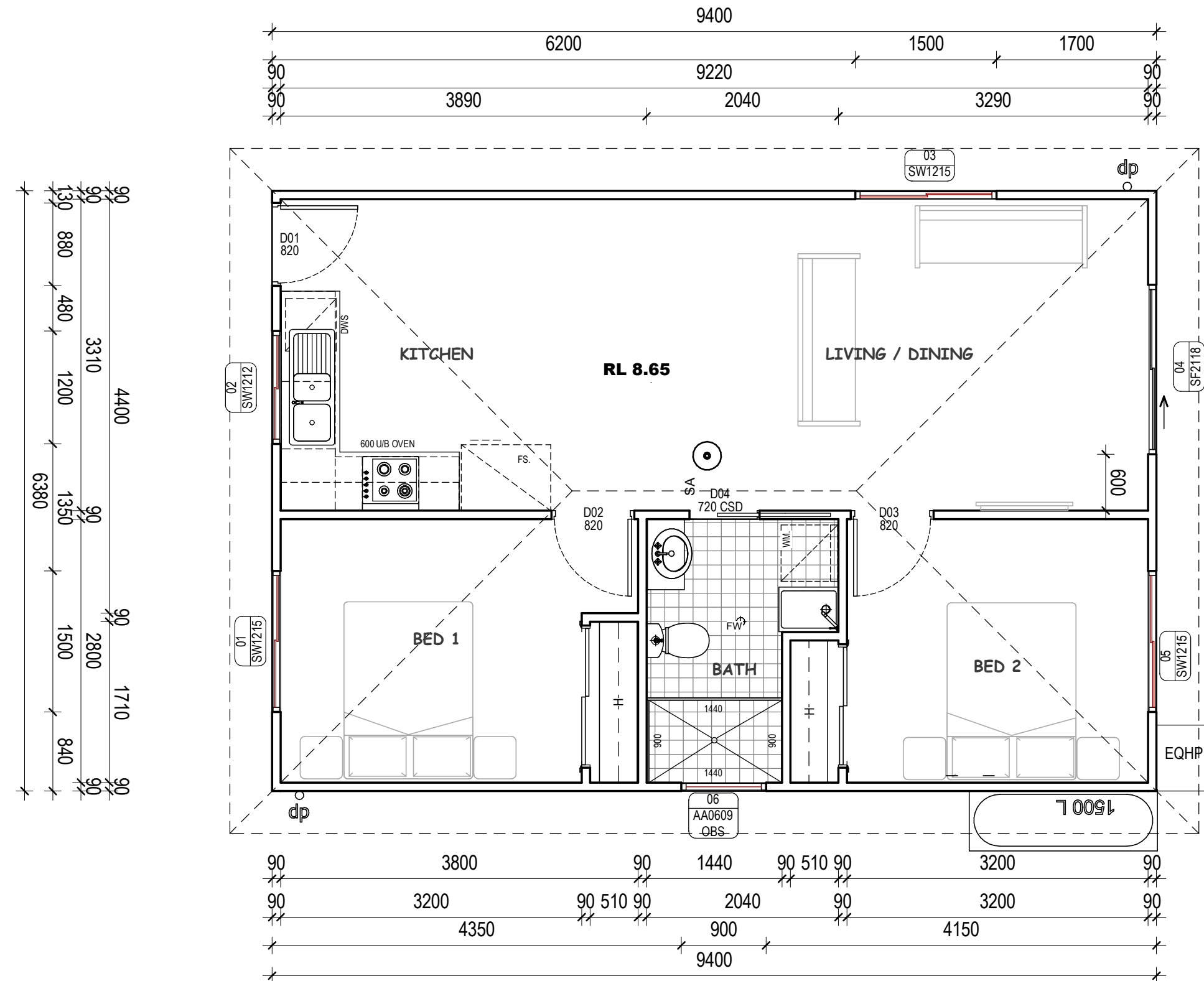
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SHEET NO:

01

SERVICE
ELECTRICAL



SA SMOKE ALARM

WINDOW & SLIDING DOOR Schedule

Windo w No.	Model	Height	Width	Window Style	Glazing
01	SW1215	1200	1500	SLIDING WINDOW	CLEAR
02	SW1212	1200	1200	SLIDING WINDOW	CLEAR
03	SW1215	1200	1500	SLIDING WINDOW	CLEAR
04	SF2118	2100	1800	SLIDING DOOR	CLEAR
05	SW1215	1200	1500	SLIDING WINDOW	CLEAR
06	AA0609 OBS	600	900	SLIDING WINDOW	OBSCURE

Secondary Dwelling

Client : CHAUVO HOLDINGS PTY LIMITED

Job Address : LOT A DP 313783
45 SECOND AVENUE CAMPSIE

10/02/2025 9:33:01 PM

DA APPLICATION:

SECONDARY
DWELLING

Project Details

DRAWN BY:	DATE:	JOB NO:
RB	09.11.24	
SHEET TITLE:	SECONDARY DWELLING GROUND FLOOR	
SCALE:	FINAL PLAN ISSUE:	
1 : 50	2	

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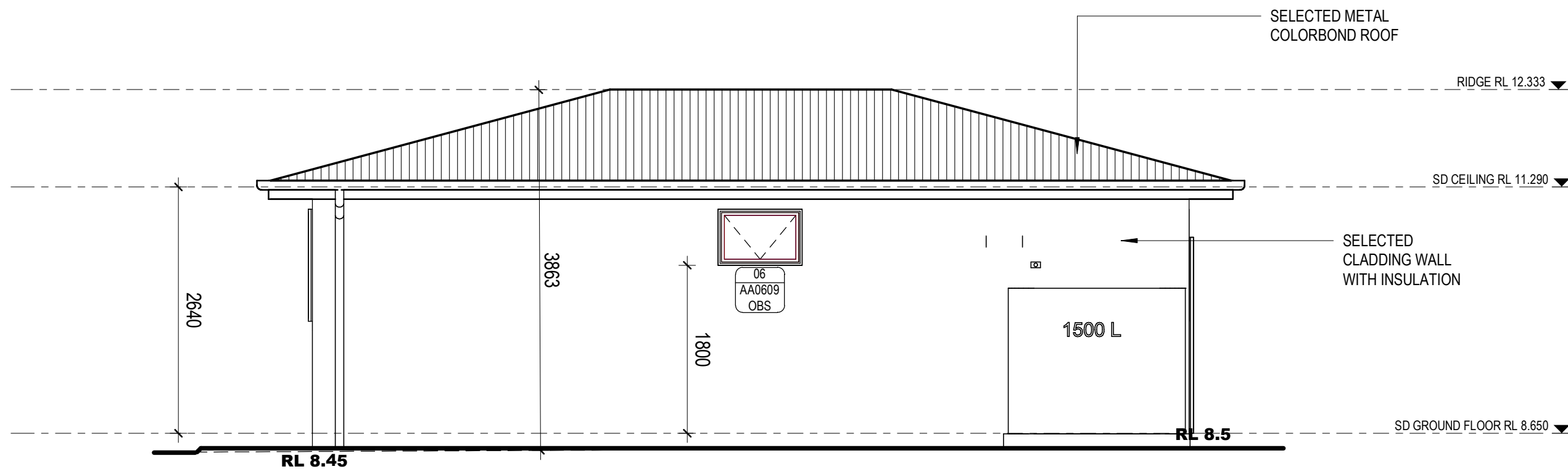
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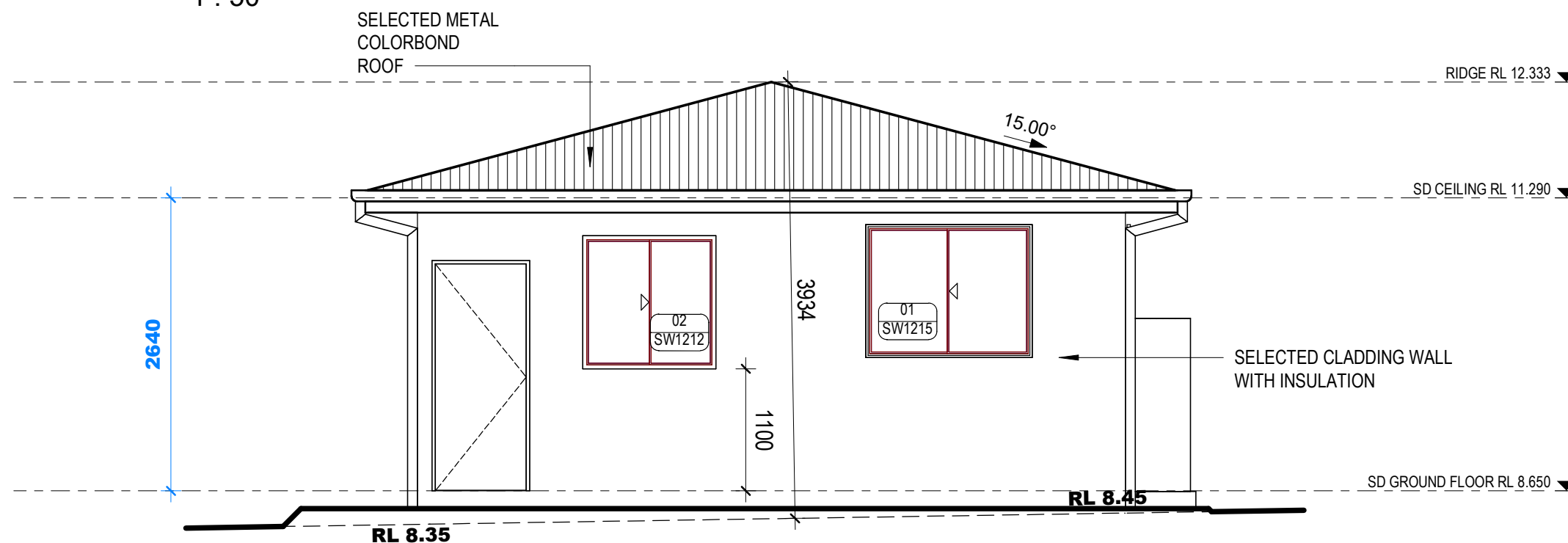
SHEET NO:

02



SOUTH ELEVATION

1 : 50



WEST ELEVATION

1 : 50

Secondary Dwelling

Client : CHAUVO HOLDINGS PTY LIMITED

Job Address : LOT A DP 313783
45 SECOND AVENUE CAMPSIE

10/02/2025 9:33:01 PM

DA APPLICATION:

SECONDARY
DWELLING

Project Details

DRAWN BY:	DATE:	JOB NO:
RB	09.11.24	
SHEET TITLE:		
SECONDARY DWELLING ELEVATIONS		
SCALE:	FINAL PLAN	
1 : 50	ISSUE: 2	

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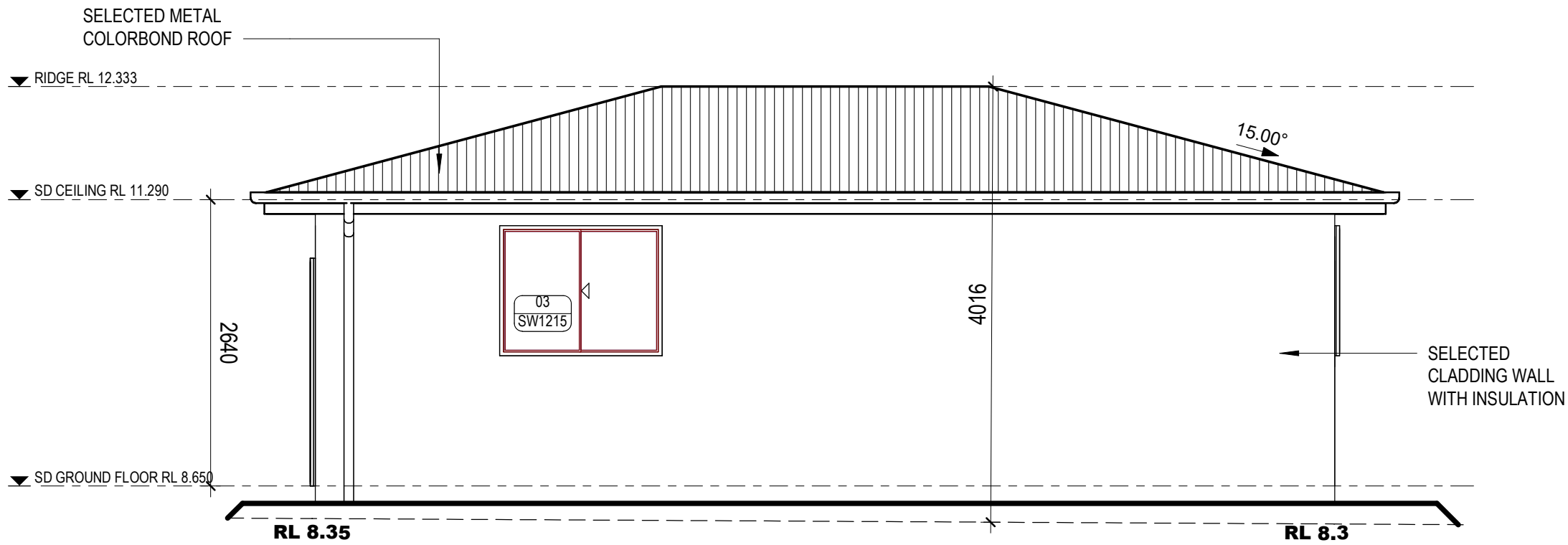
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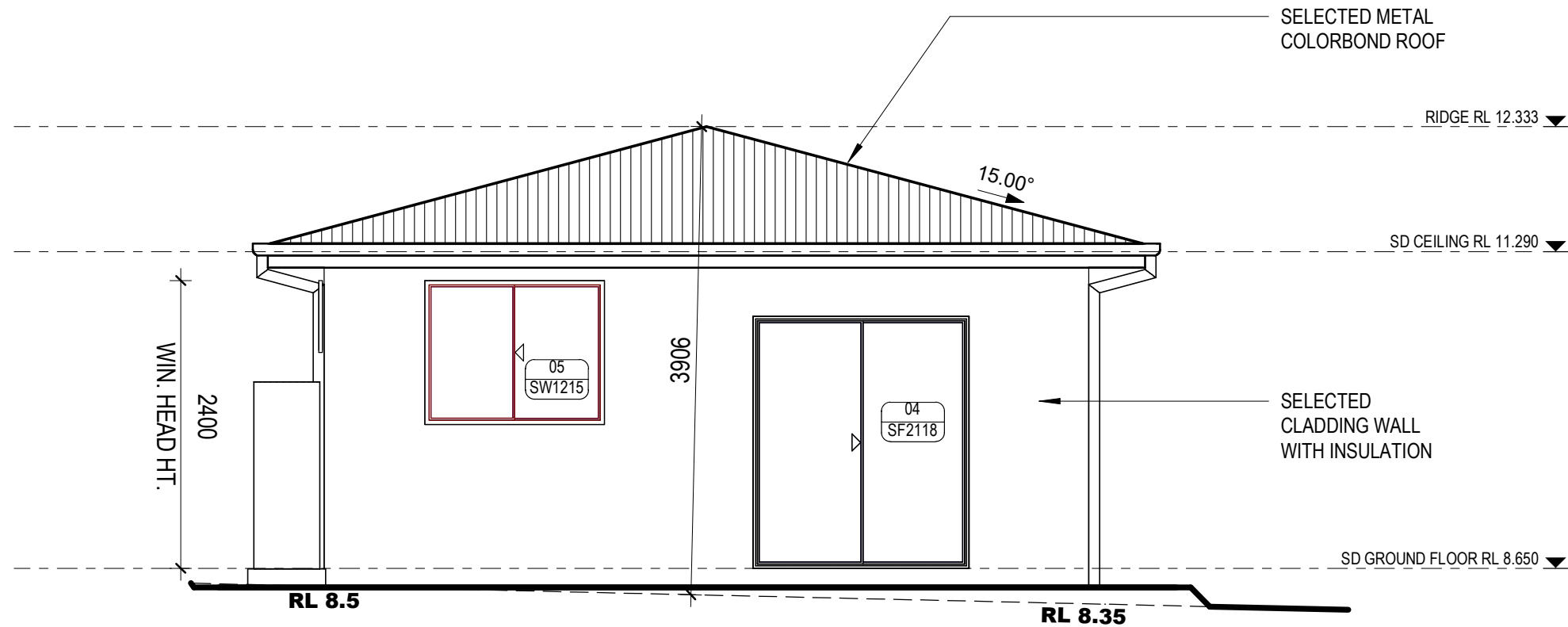


SHEET NO:

03



NORTH ELEVATION
1 : 50



EAST ELEVATION
1 : 50

Secondary Dwelling

Client : CHAUVO HOLDINGS PTY LIMITED

Job Address : LOT A DP 313783
45 SECOND AVENUE CAMPSIE

10/02/2025 9:33:02 PM

DA APPLICATION:

SECONDARY
DWELLING

Project Details

DRAWN BY:	DATE:	JOB NO:
RB	09.11.24	
SHEET TITLE:	SECONDARY DWELLING ELEVATIONS	
SCALE:	FINAL PLAN ISSUE:	
1 : 50	2	

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GENERAL NOTES

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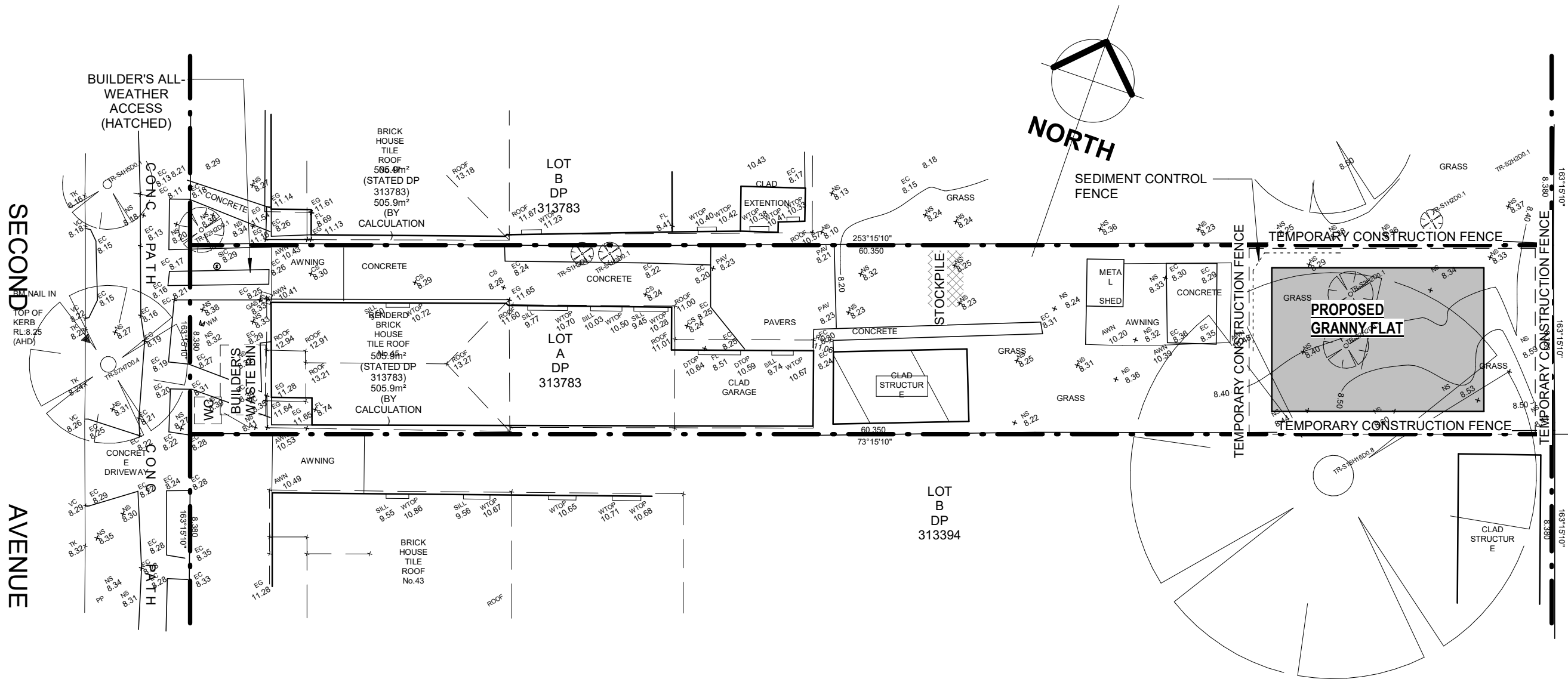
SHEET NO:

04

BASIX COMMITMENTS			
PROJECT DETAILS			
CLIENT:			
STREET ADDRESS: 45 SECOND Avenue CAMPSIE 2194			
NUMBER OF SEPARATE HOUSES:1		NUMBER OF BEDROOMS: 2	
SITE AREA: 505.9m²		TOTAL ROOF AREA: 78m²	
CONDITIONED FLOOR AREA: 55.25m²		UNCONDITIONED FLOOR AREA:4.75m²	
WATER DETAILS			
AREA OF GARDEN/LAWN: 80m²		AREA OF INDIGENOUS SPECIES: 0m²	
FIXTURES: SHOWER HEADS - 4 STAR (>4.5BUT<=6.0L/min) KITCHEN TAPS - 5 STAR		TOILET FLUSHING SYSTEM - 4 STAR BASIN TAPS - 4 STAR	YES
ON DEMAND RETICULATION SYSTEM: NO		OVERFLOW TO STORMWATER TANK: YES	
ROOF AREA DIVERTED TO TANK: 77m²		RAINWATER TANK SIZE: 1500 L	YES
WATER SOURCE USED FOR: ALL TOILETS, ONE OUTDOOR TAP		YES	
THERMAL COMFORT DETAILS			
FLOOR, WALL AND CEILING/ROOF			
THE DWELLING MUST BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:			
CONSTRUCTION	AREA m²	ADDITIONAL INSULATION	
FLOOR - CONCRETE SLAB ON GROUND.	60	NONE	
GARAGE FLOOR - CONCRETE SLAB ON GROUND.		NONE	
EXTERNAL WALL: BRICK VENEER; FRAME:TIMBER - H2 TREATED SOFTWOOD.	ALL	2.50 (OR 3.00 INCLUDING CONSTRUCTION); ROCKWOOL BATTS, ROLL OR PUMP-IN	
INTERNAL WALL: PLASTERBOARD; FRAME: TIMBER - UNTREATED SOFTWOOD.	35	NONE	
CEILING AND ROOF - FLAT CEILING/PITCHED ROOF, FRAMED - METAL ROOF, TIMBER - H2 TREATED SOFTWOOD.	78	CEILING: 4(UP) : ROCKWOOL BATTS, ROLL OR PUMP IN; ROOF: FOIL/SARKING.	
NOTE: INSULATION SPECIFIED MUST BE INSTALLED IN ACCORDANCE WITH PART 13.2.2 OF THE NATIONAL CONSTRUCTION CODE			
CEILING FANS: THE APPLICANT MUST INSTALL AT LEAST ONE CEILING FAN IN AT LEAST ONE DAYTIME HABITABLE SPACE, SUCH AS LIVING ROOM.			
ENERGY DETAILS			
HOT WATER UNIT:electric heat pump			
COOLING:			
LIVING/BEDROOMS	DUCTED: 1 PHASE AIR CONDITIONING :RATING 5 STAR		
HEATING:			
LIVING/BEDROOMS	DUCTED: 1 PHASE AIR CONDITIONING :RATING 5 STAR		
VENTILATION:	BATHROOM: INDIVIDUAL FAN, DUCTED, MAN. SWITCH ON/OFF KITCHEN: INDIVIDUAL FAN, DUCTED, MAN. SWITCH ON/OFF LAUNDRY: INDIVIDUAL FAN, DUCTED, MAN. SWITCH ON/OFF		
NATURAL LIGHTING:	KITCHEN YES	No. BATHROOM WINDOWS: 1	
ARTIFICIAL LIGHTING: THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTINGDIODE (LED) LAMPS.			YES
ALTERNATE ENERGY SYSTEM: NO		VENTILATED FRIDGE SPACE: YES	
OTHER: ELECTRIC OVEN, ELECTRIC COOKTOP & OUTDOOR CLOTHES HOIST			

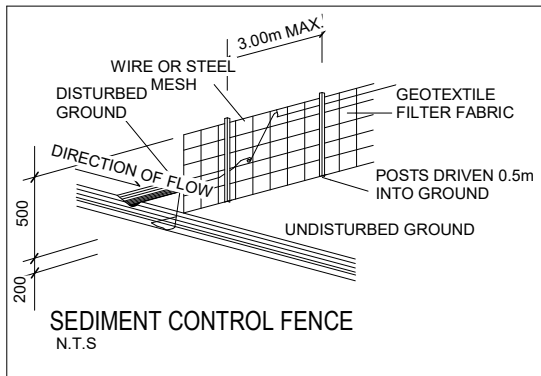


01	SW1215	1200	1500	SLIDING WINDOW	CLEAR
02	SW1212	1200	1200	SLIDING WINDOW	CLEAR
03	SW1215	1200	1500	SLIDING WINDOW	CLEAR
04	SF2118	2100	1800	SLIDING DOOR	CLEAR
05	SW1215	1200	1500	SLIDING WINDOW	CLEAR
06	AA0609 OBS	600	900	SLIDING WINDOW	OBSCURE



SEDIMENT NOTE:

1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE.
6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP BOGGING.
8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.



Secondary Dwelling

Client : CHAUVO HOLDINGS PTY LIMITED

Job Address : LOT A DP 313783
45 SECOND AVENUE CAMPSIE

10/02/2025 9:33:03 PM

DA APPLICATION:

SECONDARY
DWELLING

Project Details

DRAWN BY:	DATE:	JOB NO:
RB	09.11.24	
SHEET TITLE:	SEDIMENT CONTROL PLAN	
SCALE:	FINAL PLAN ISSUE:	
1 : 200	2	

DRAWN BY

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GENERAL NOTES

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SHEET NO:

06

NOTE:
ALL LANDSCAPING, GARDEN BEDS, TURF,
MAILBOX, DRIVEWAY, CLOTHESLINE AND FENCING
TO BE DONE AS REQUIRED BY CLIENT

SECOND
AVENUE

NORTH

PRIVATE OPEN SPACE
SLOPE GRADIENT 1:50





SP 69361

SA

LEGEND:

- REAR LANDSCAPE AREA
- FRONT LANDSCAPE AREA

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	H x W	POT SIZE	N/E/W
	Dianella tasmanica TR20	Flax Lilly "Tas Red"	40cm x 40cm	140mm	N / W
	Ophiopogon japonicus	Black mondo grass (white)	20cm x 40cm	100mm	E / W
	Westringia "Smokey"	Coastal Rosemary	1m x 1m	140mm	N / W
	Acacia Saligna	Golden "Wattle"	2.5m h x 3.8m W	250mm (75L)	N / W

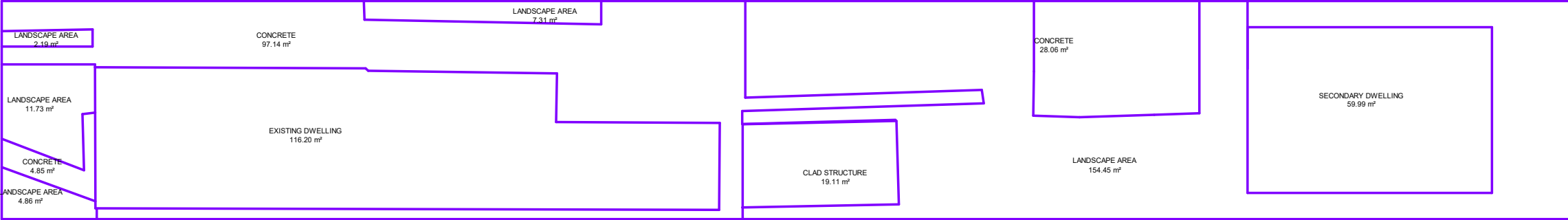
*NB: W indicates plants are Waterwise, E indicates Exotic and N indicates Native, F indicates somewhat fire retardant.

LANDSCAPING COMPLIANCE

Name	Area	Site Coverage
EXISTING DWELLING	116.20 m²	23%
SECONDARY DWELLING	59.99 m²	12%
CLAD STRUCTURE	19.11 m²	4%
LANDSCAPE AREA	180.53 m²	36%
CONCRETE	130.05 m²	26%
	505.88 m²	

LANDSCAPE CALCULATION

1 : 200



Secondary Dwelling

Client : CHAUVO HOLDINGS PTY LIMITED

Job Address : LOT A DP 313783
45 SECOND AVENUE CAMPSIE

10/02/2025 9:33:04 PM

DA APPLICATION:

SECONDARY
DWELLING

Project Details

DRAWN BY:	DATE:	JOB NO:
RB	09.11.24	
SHEET TITLE:	CONCEPT LANDSCAPE PLAN	
SCALE:	FINAL PLAN ISSUE:	
As indicated	2	

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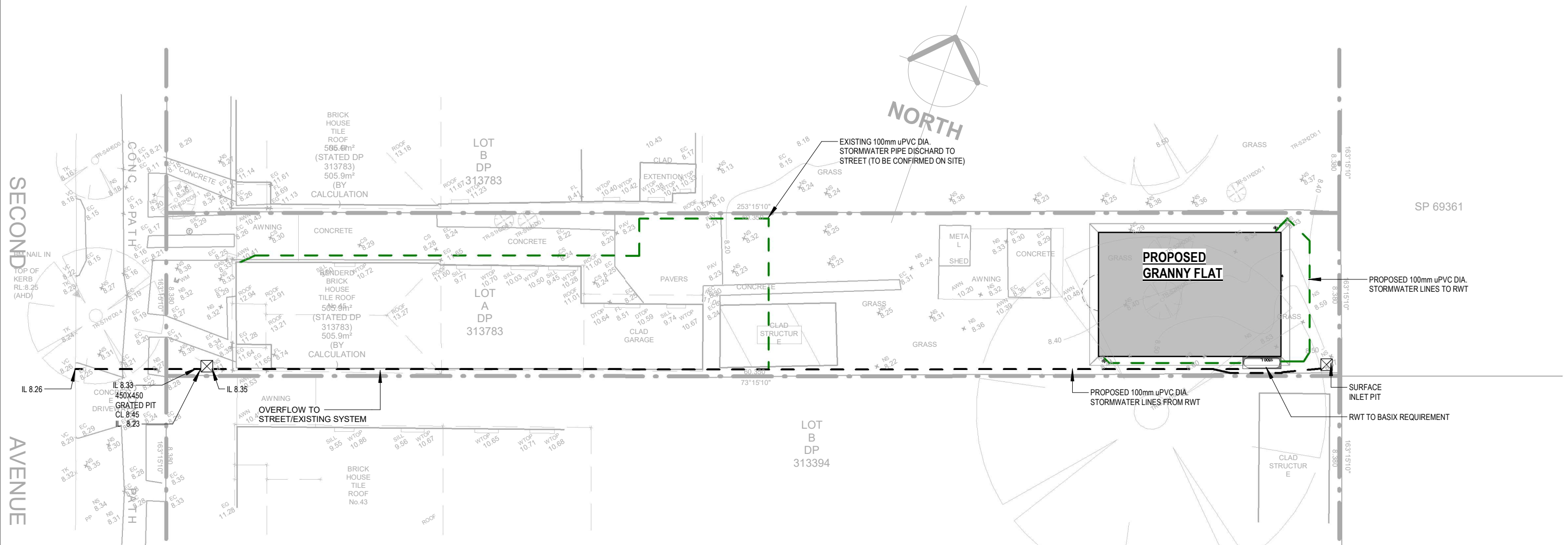
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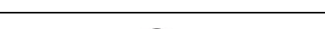

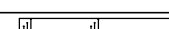
1. The site is affected by local overland flooding and as such charged system to discharge roof water / overflow from rainwater tank to the existing pit at Milford Avenue is the most appropriate option to dispose stormwater from the site.
2. Stormwater pipes are to be UPVC, sewer grade and shall be installed in accordance with AS3500.
3. All downpipes are to be sealed and glued joints.
4. Downpipes are to be connected to rainwater tank and rainwater tank overflow pipe.
5. Rainwater tank of main dwelling is to be minimum 2000L slimline tank and granny flat is to be minimum 1000L slimline tank.
6. Rainwater tanks is to be plumbed to toilets for flushing and one outdoor tap for irrigation.
7. Site stormwater discharge is to be connected to the back of the existing pit at Milford Avenue and make good as per council's standard and satisfaction to council's supervision officer.
8. General layout only, builder to confirm layout and levels.
9. All levels are in mAHD.

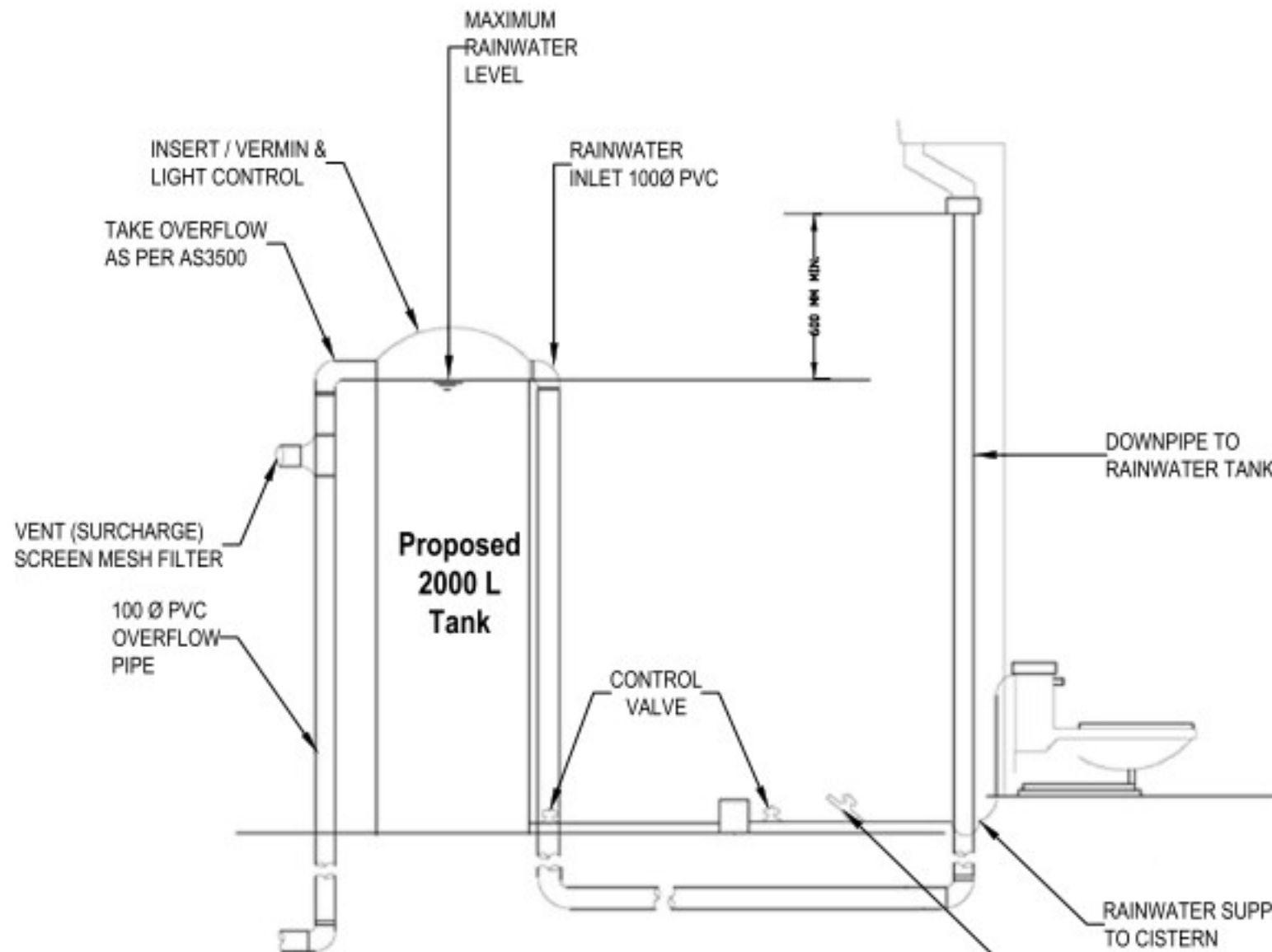
1. The system to be installed with the following considerations:
 - A 'First Flush' diversion to remove roof contaminants
 - Adequate screening to provide mosquito breeding and entry of animal or floating matter
2. No direct cross-connection with the potable water supply and an air gap maintained above the overflow in the tank.
3. Rainwater Tanks to be connected to toilets for flushing and one outdoor tap for irrigation.

- — STORMWATER GRAVITY FLOW
- — STORMWATER CHARGED LINE
TO COLLECT WATER TO RWT



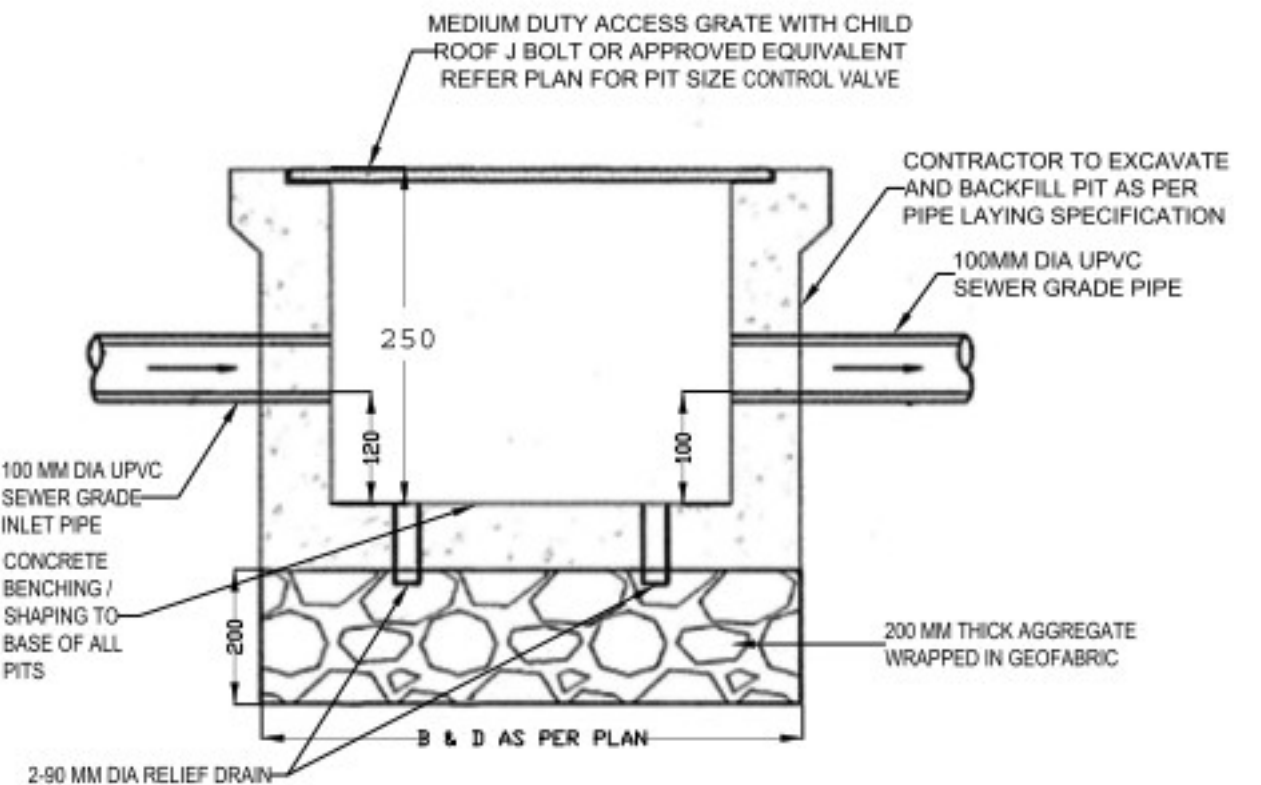
- ALL STORMWATER DRAINAGE TO COMPLY WITH AS 3500.2
- 100mm DIA. STORMWATER LINES WITH MIN. 1% FALL TO STORMWATER MAIN
- ALL OVERFLOW GULLIES TO BE 150mm BELOW FLOOR LEVEL AND 150mm ABOVE SURROUNDING LEVELS

 Design» Approval» Construction	<h1>Secondary Dwelling</h1>	DA APPLICATION: SECONDARY DWELLING	<h2>Project Details</h2>		DRAWN BY 		SHEET NO: 08.1
	Client : CHAUVO HOLDINGS PTY LIMITED Job Address : LOT A DP 313783 45 SECOND AVENUE CAMPSIE 10/02/2025 9:33:06 PM		DRAWN BY: RB SHEET TITLE: DRAINAGE PLAN SCALE: As	DATE: 09.11.24 FINAL PLAN ISSUE: 2			



PROPOSED TANK CONFIGURATION

SCALE : NTS



STILLING PIT DETAIL

SCALE : NTS

Secondary Dwelling

Client : CHAUVO HOLDINGS PTY LIMITED

Job Address : LOT A DP 313783
45 SECOND AVENUE CAMPSIE

10/02/2025 9:33:06 PM

DA APPLICATION:

SECONDARY DWELLING

Project Details

DRAWN BY:	DATE:	JOB NO:
RB	09.11.24	
SHEET TITLE:	DRAINAGE PLAN	
SCALE:	FINAL PLAN ISSUE:	2

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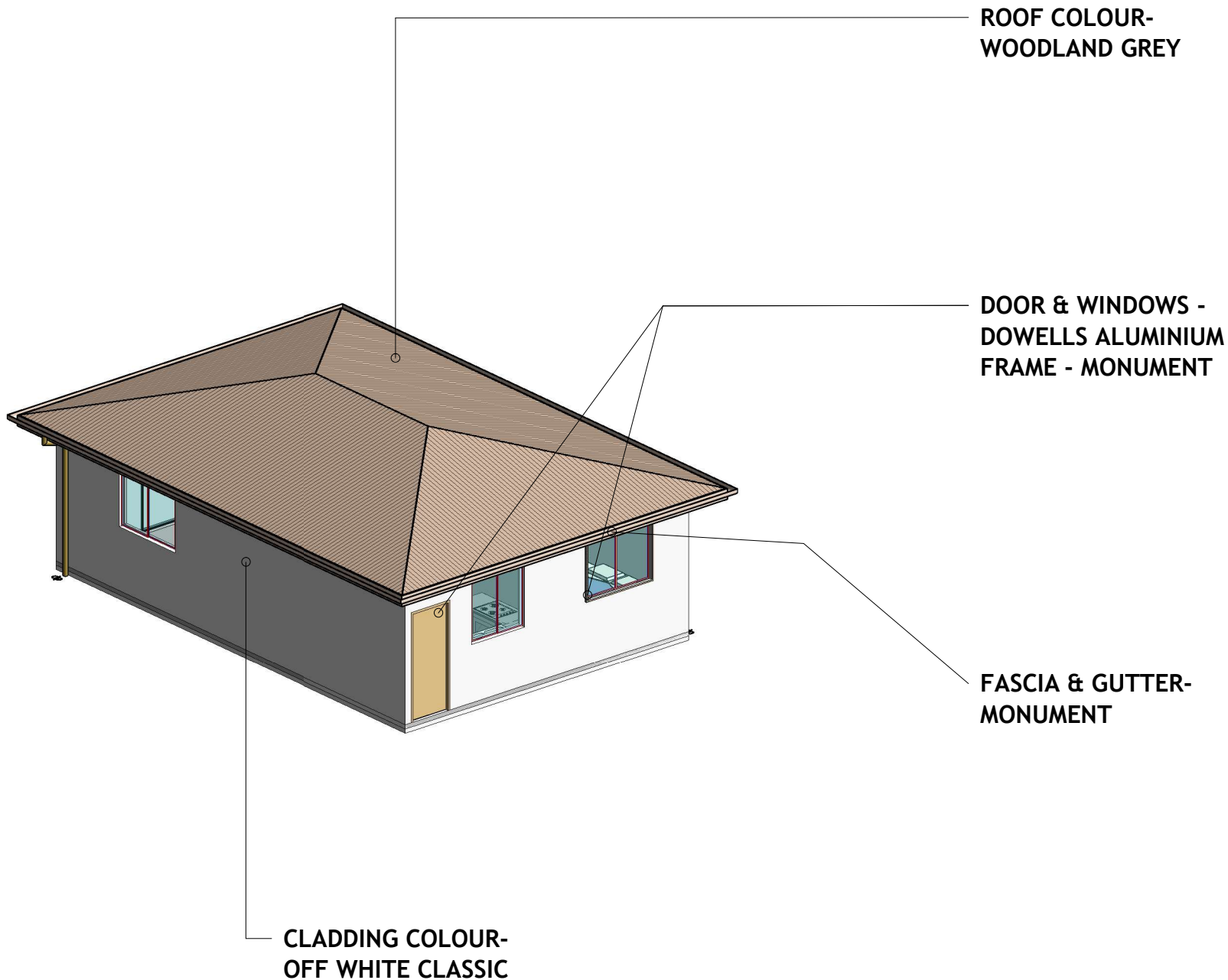


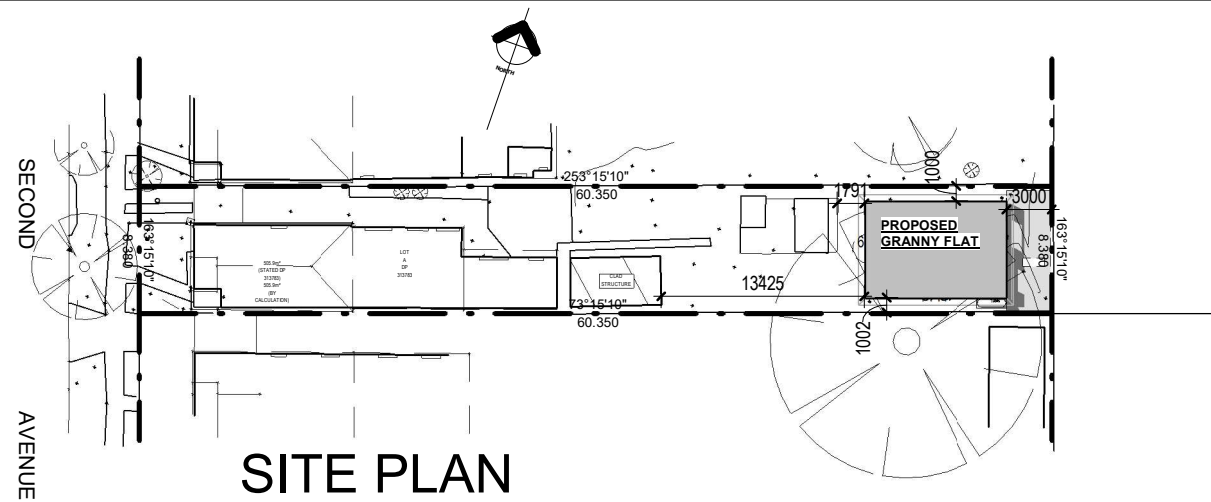
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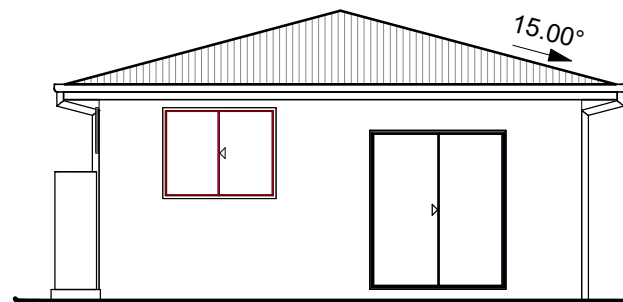
08.2





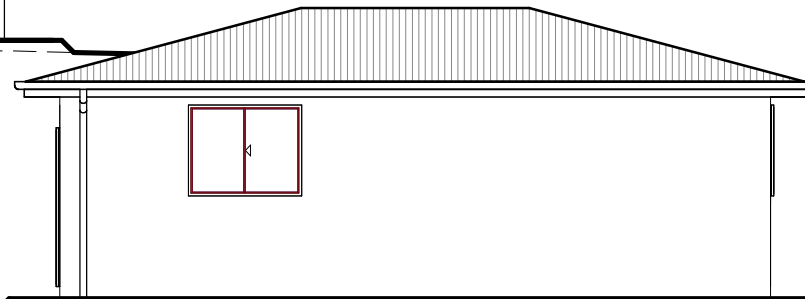
SITE PLAN

1 : 500



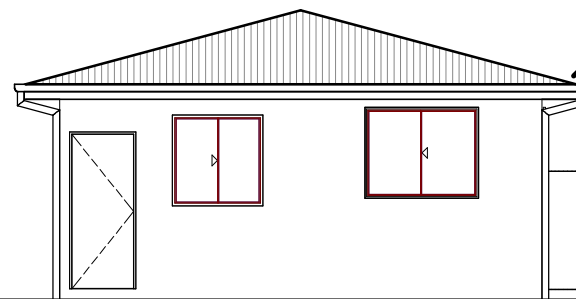
EAST ELEVATION

1 : 100



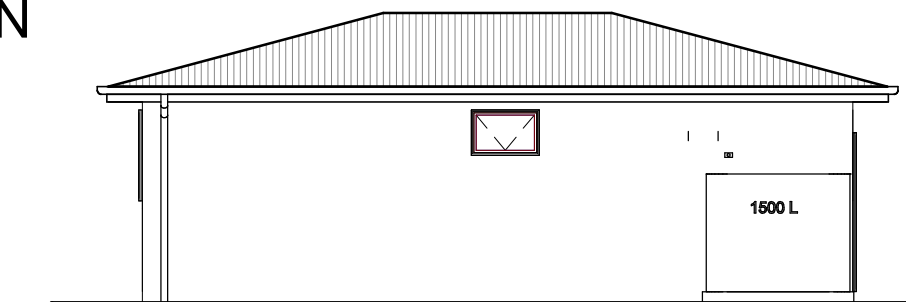
NORTH ELEVATION

1 : 100



WEST ELEVATION

1 : 100



SOUTH ELEVATION

1 : 100



Secondary Dwelling

Client : CHAUVO HOLDINGS PTY LIMITED
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Project Details

DRAWN BY: RB
DATE: 09.11.24
SHEET TITLE: NOTIFICATION PLAN
SCALE @ A4:

